

2015-46

NOTES:

- THIS PLAN IS THE RESULT OF AN ON-GROUND SURVEY PERFORMED BY METROWEST ENGINEERING, INC. UTILITY LOCATIONS ARE BASED ON FIELD OBSERVATIONS. AVAILABLE RECORDS AND INFORMATION, METROWEST ENGINEERING, INC. DOES NOT WARRANT LOCATION, CHARACTER NOR ELEVATION OF ALL UNDERGROUND UTILITIES NOR THE LOCATION OR CHARACTER OF SURFACE IMPROVEMENTS THE OBSERVATION OF WHICH WAS OBTAINED AT THE TIME OF THE SURVEY.
- I CERTIFY THAT THE LOT SHOWN HEREON IS NOT WITHIN THE FEDERAL FLOOD HAZARD AREA AS SHOWN ON COMMUNITY- PANEL NUMBER 255219 0012 C, DATED JULY 15, 1992.
- BURIED TELEPHONE CABLE LOCATION WITHIN PARKINGWAY WAS NOT DETERMINED.
- PARKING EASEMENT IN BOOK 5955, PAGE 221 EXTINGUISHED DUE TO THE MERGER OF THE DOMINANT AND SUBSERVIENT ESTATES.
- SUBJECT PROPERTY IS SHOWN ON:
ASSESSORS MAP 1148, PLOTS 37 & 38
AREA = 34,297 SQ.FT. OR 0.79 ACRES
ASSESSORS MAP 1165, PLOTS 50, 57, 58, 59, 67, 70 & 71.
AREA = 139,550 SQ.FT. OR 3.20 ACRES
- TOTAL NUMBER OF PARKING SPACES:
214 SPACES
13 HANDICAP SPACES
227 SPACES TOTAL
- RECORD PLAN OF THE TEMPORARY EASEMENTS TAKEN BY THE CITY OF QUINCY IS NOT RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS. THE GEOMETRY OF THESE EASEMENTS IS TAKEN FROM PLANS PROVIDED TO METROWEST ENGINEERING, INC. BY ATLANTIC-QUINCY LLC. ENTITLED, "PLAN OF ENTIRE PROPERTY SHOWING TAKING".

ENCROACHMENTS:

- ASSESSORS MAP 1148, PLOT 37 & PLOT 38 ASSESSORS MAP 1165, PLOT 53, PLOT 52, PLOT 50 & PLOT 59
- A Sign 0.6' over
Clean out 0.6' over
Doors open outwards
- B Building 0.2' over
Sign 1.3' over
Light 1.0' over
Building 0.3' over
Door opens out
- C Fire alarm box 0.1' over
Light 0.1' over
Doors open out
- D Metal cover 0.1' on
Door opens out
- E Building 0.9' over
Awning 3.9' over
Building 0.5' over
Fence 0.6'-1.7' over
Sign 0.2' over
Fence 2.3' over
Sign 1.0' over
- F Brick planter 0.8' over
Brick planter 0.1' over
Building 0.6' into easement
- G Light 1.5' over
Building 0.3' over
Over hang 1.3' over
- H Retaining wall 6.2' on
Concrete pad 2.5' over
Fence 2.3' over
- I Pavement 0.8' over
Fence 3.5' over
Conc. pad 4.6' over
- J Fence with dumpster pad 22.5'-22.7' over
Guard rail 0.8'-1.9' over
- K Guard rail 1' over
Drain line crosses locus
- L Door opens out
Light 0.1' over
- M Building 1.1' over
Light 1.4' over
Door opens out
- N Fence 2.0' over
Curb 6.7' on
Retaining wall 4.3' on
Generator on lot line

REFERENCES

- NORFOLK COUNTY REGISTRY OF DEEDS
- BOOK 11715, PAGE 295
BOOK 10994, PAGE 630
BOOK 7331, PAGE 39
BOOK 7331, PAGE 35
BOOK 7331, PAGE 42
BOOK 7388, PAGE 52
BOOK 4172, PAGE 282
BOOK 2566, PAGE 51
BOOK 1846, PAGE 282
BOOK 1277, PAGE 221
BOOK 1935, PAGE 344
BOOK 4148, PAGE 347
BOOK 2242, PAGE 423
BOOK 4172, PAGE 282
BOOK 1846, PAGE 282
BOOK 2769, PAGE 413
BOOK 2887, PAGE 355
BOOK 4687, PAGE 549
- PLAN 139 OF 1932
PLAN 140 OF 1932
PLAN 928 OF 1941
PLAN 575 OF 1945
PLAN 554 OF 1947
PLAN 726 OF 1953
PLAN 1017 OF 1957
PLAN 1270 OF 1957
PLAN 24 OF 1958
PLAN 141 OF 1959
PLAN 36 OF 1959
PLAN 639 OF 1964
PLAN 169 OF 1967
PLAN 115 OF 1968
PLAN 698 OF 1970
PLAN 338 OF 1971
PLAN 320 OF 1976
PLAN 811 OF 1979
PLAN 28 OF 1980
PLAN 734 OF 1982
PLAN 902 OF 1983
PLAN 601 OF 1994
PLAN 392 OF 1995
- PLAN 4450 PLAN BOOK 91
PLAN 3388 PLAN BOOK 70
PLAN 4554 PLAN BOOK 24
PLAN 846 PLAN BOOK 452
PLAN 123 PLAN BOOK 446

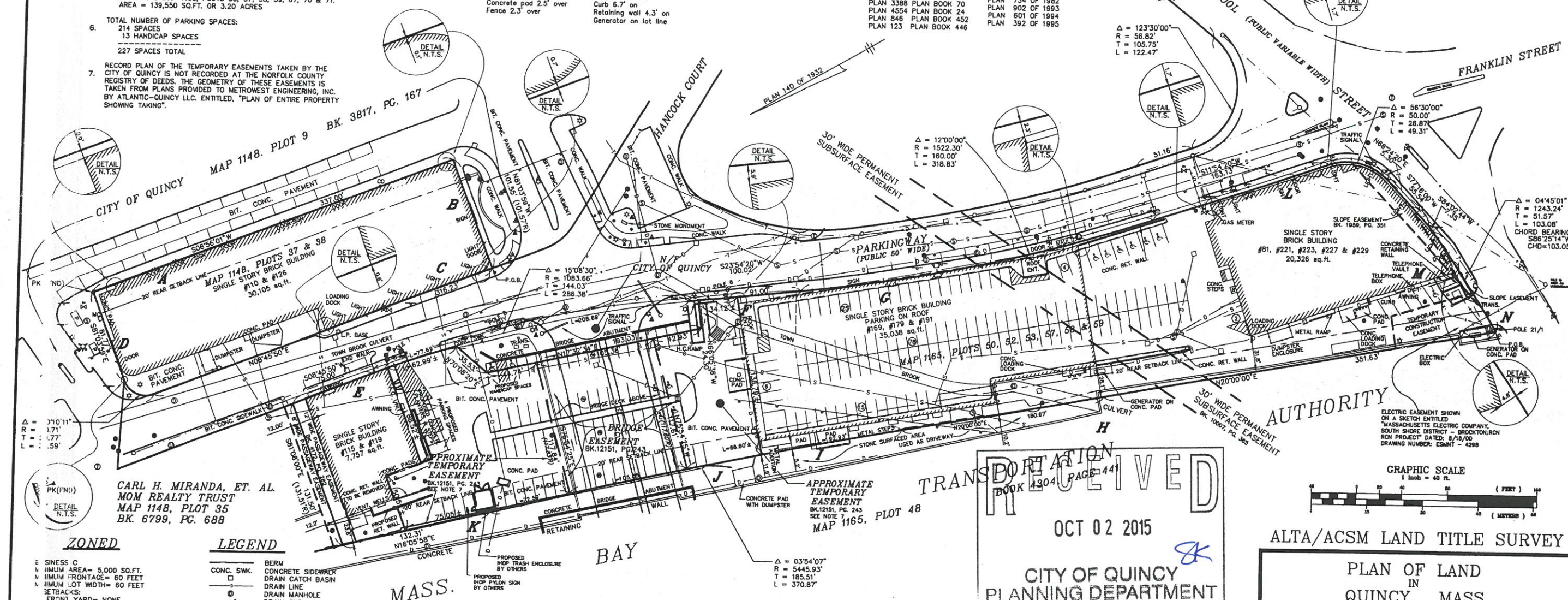
CITY OF QUINCY ENGINEERING DIVISION
PLAN 131
PLAN 132
PLAN 316-D

MISCELLANEOUS PLANS
ALTA/CSM LAND TITLE SURVEY
BY INTERNATIONAL LAND SERVICES, INC.
DATED 09/01/1994

PLAN OF LAND AT PARKING WAY IN QUINCY, MASS.
BY DAYLOR CONSULTING GROUP INC.
DATED 05/06/1996

CITY OF QUINCY, D.P.W.
SCHOOL ST. BRIDGE & APPROACH
PLAN & PROFILE
BY H. W. MOORE ASSOCIATES
DATED: 4/28/1970

2015 OCT -2 AM 11:20
CITY CLERKS OFFICE
QUINCY, MASS 02169



CARL H. MIRANDA, ET. AL.
MOM REALTY TRUST
MAP 1148, PLOT 35
BK. 6799, PG. 688

ZONED

- SINCE C
MINIMUM AREA= 5,000 SQ.FT.
MINIMUM FRONTAGE= 60 FEET
MINIMUM LOT WIDTH= 60 FEET
SETBACKS:
FRONT YARD= NONE
SIDE YARD= NONE
REAR YARD= 20 FEET
MINIMUM NUMBER OF STORIES= 6
MINIMUM FLOOR AREA RATIO= 3.5

LEGEND

- CONC. SWK.
BERM
CONCRETE SIDEWALK
DRAIN CATCH BASIN
DRAIN LINE
DRAIN MANHOLE
DRAIN OUTFALL
ELECTRIC LINE
ENCROACHMENT NOTE
FENCE
GAS LINE
GAS GATE
GRANITE CURB
GUARDRAIL
HANDICAP PARKING SIGN
HYDRANT
LIGHTBOLLARD
LIGHTPOST
METAL COVER
NUMBER OF PARKING SPACES
OBSERVATION WELL
OVERHEAD WIRES
PAVEMENT EDGE
SEWER LINE
SEWER MANHOLE
TELEPHONE MANHOLE
TELEPHONE LINE
TRAFFIC SIGNAL HAND HOLE
ELECTRIC TRANSFORMER
UTILITY MANHOLE
UTILITY POLE
WATER GATE
WATER LINE

DATE:	REVISION:
10/08/02	ADD RET. WALL AND DETAIL NOTE FOR EXIST. CONCRETE RET. WALL TO BE REMOVED, REMOVE BURIED TANK
10/17/02	ADD NEW PARKING, DUMPSTER ENCLOSURE, Pylon SIGN

TRANSPORTATION
BOOK 1304, PAGE 441
OCT 02 2015
CITY OF QUINCY
PLANNING DEPARTMENT

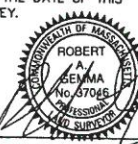
CHAPTER 380 - ACTS OF 1966

TO ATLANTIC-QUINCY REALTY LLC, MIDDLESEX SAVINGS BANK AND COMMONWEALTH LAND TITLE INSURANCE COMPANY, ITS SUCCESSORS OR ASSIGNS, THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE (I) IN ACCORDANCE WITH 'MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS' JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 1997, AND INCLUDES ITEMS 3, 4, 7, 8, 11 OF TABLE A THEREOF, AND (II) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) OF AN URBAN SURVEY.

I CERTIFY THAT THE PROPERTY LINES SHOWN ARE THE LINES DIVIDING EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF OWNERSHIPS OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.



FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.L.S. # 37046

ALTA/ACSM LAND TITLE SURVEY

PLAN OF LAND
IN
QUINCY, MASS
(NORFOLK COUNTY)

PREPARED FOR:
ATLANTIC-QUINCY REALTY LLC
40 SPEEN STREET
FRAMINGHAM, MA 01701

PROPERTY OF:
ATLANTIC-QUINCY REALTY LLC
40 SPEEN STREET
FRAMINGHAM, MA 01701

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
ROBERT A. GEMMA, P.L.S. # 37046
(508) 626-0063

SHEET 1 OF 1

DATE: SEPTEMBER 6, 2002

CALC'D BY: PHA FIELD BK: 281&352 CAD FILE: H:\DRAWINGS\PL\060602.DWG
DRAFTER: PHA & CEF PROJECT: QUL_PAR DWG FILE: 060602r1

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL GIVE A WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

MASONRY REPAIR SCOPE

1. Remove all grouting from cornice, sills, repoint all joints.
2. Pressure wash facade with "suroclean", by Waldo.
3. Repair areas as noted on drawings.
4. Tuck point entire masonry facade, caulk all exposed joints with sealant.
5. Caulk any exposed joints with a high performance, low modulus, multi-component, chemically cured polyurethane joint sealant conforming to Federal Specification TT-S-00227E, Class A, Type II and ASTM C920-79, Type M, Grade NS, Class 25 standards. Sealant shall be by Dymeric 511 as manufactured by Tremco or approved equal.

MASONRY LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	8" walls	10"-12" walls
less than 3'-0"	2 L'S 3 1/2 x 3 1/2 x 1/4	3L'S 3 1/2 x 3 1/2 x 1/4
up to 4'-0"	2 L'S 4 x 3 1/2 x 1/4	3L'S 4 x 3 1/2 x 1/4
up to 5'-0"	2L'S 5 x 3 1/2 x 1/4	3L'S 5 x 3 1/2 x 1/4
up to 6'-0"	2L'S 6 x 3 1/2 x 3/8	3L'S 6 x 3 1/2 x 3/8

LIGHT GAGE METAL FRAMING :

1. ALL WORK SHALL CONFORM TO THE FOLLOWING STANDARDS, LATEST EDITIONS:
- (A) AMERICAN IRON AND STEEL INSTITUTE (A.I.S.I.). DESIGN OF COLD FORM STRUCTURAL STEEL.
- (B) AMERICAN INSTITUTE OF STEEL CONSTRUCTION. MANUAL OF STEEL CONSTRUCTION.
- (C) AMERICAN WELDING SOCIETY (A.W.S.), STURCTURAL WELDING CODE-SHEET STEEL.
- (D) AMERICAN SOCIETY OFOR TESTING AND MATERIALS, (A.S.T.M.).
2. THE MORE STRINGENT REQUIREMENTS SHALL GOVERN IN CONFLICTS BETWEEN SPECIFIED CODES AND STANDARDS.

WOOD NOTES:

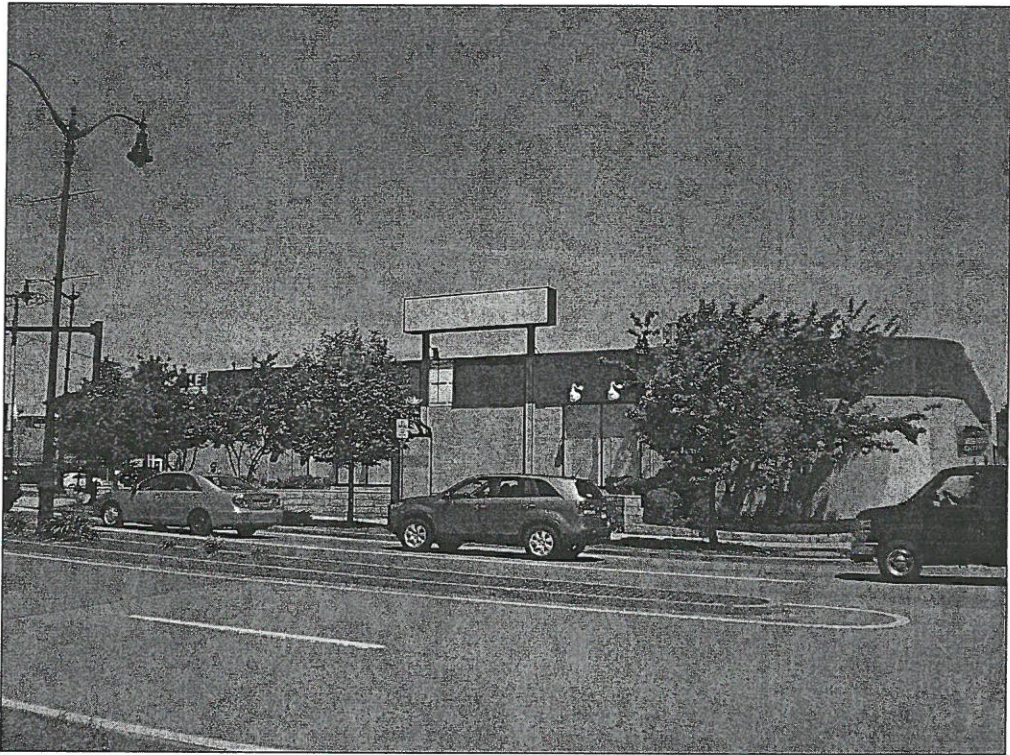
1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 HEM-FIR, OR BETTER, HAVING A MINIMUM:
- FB=1,200 PSI, FV=70 PSI, E=1,300,000 PSI.
3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM:
- FB=2,650 PSI, FV=285 PSI, E=1,900,000 PSI - FOR STUDS COLUMNS
- FB-3100 PSI, FV=285 PSI, E=2,000,000 PSI - FOR BEAMS
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

PROPOSED RENOVATION
100 PARKINGWAY
QUINCY,
MASSACHUSETTS



ZONING SUMMARY RESIDENTIAL QCZD-15			
RESIDENTIAL	MINIMUM LOT AREA	MIN. LOT AREA PER D.U.	MAXIMUM NUMBER OF STORIES
REQUIRED BY ZONING	15,000 S.F.±	325 S.F.±	15
EXISTING CONDITIONS	30,105 S.F.±	N/A	1
PROPOSED PROJECT	30,105 S.F.±	N/A	1
	NO CHANGE	NO CHANGE	NO CHANGE

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM AS DESIGNED IS BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN NOT WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THAN THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

NOTE:ENERGY CODE COMPLIANCE

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HERs RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.

KEY

	1 HOUR WALL(SEE W.T.1/A-3.1)
	FAN
	45 MIN. DOOR
	NEW WALL
	EX'G WALL TO REMAIN
	WALL TO BE REMOVED

CODE SUMMARY

EX'G TYPE 3B CONSTRUCTION
EX'G 1 STORY & BASEMET
EX'G M USE GROUP
PROPOSED I-4/ A-3/ M USE GROUP
EX'G FULLY SPRINKLED
ZONE QCZD-15

CONTACT INFORMATION

OWNER: ATLANTIC-QUINCY REALTY LLC - ANDRIAN SHAPIRO
20 LINDEN STREET, ALLSTON, MA 02136
617-828-2200
ASHAPIRO@LBCBOSTON.COM

ATTORNEY: HARNAIS LAW OFFICE - ROBERT HARNAIS
15 FOSTER STREET, QUINCY, MA 02169
617-770-0000 EX. 108
ROBERT@HARNAISLAW.COM

Location

PROPOSED RENOVATION
100 PARKINGWAY
QUINCY, MA

Choo
& Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
	07-09-15
	07-13-15
	08-25-15
	09-01-15
	09-29-15

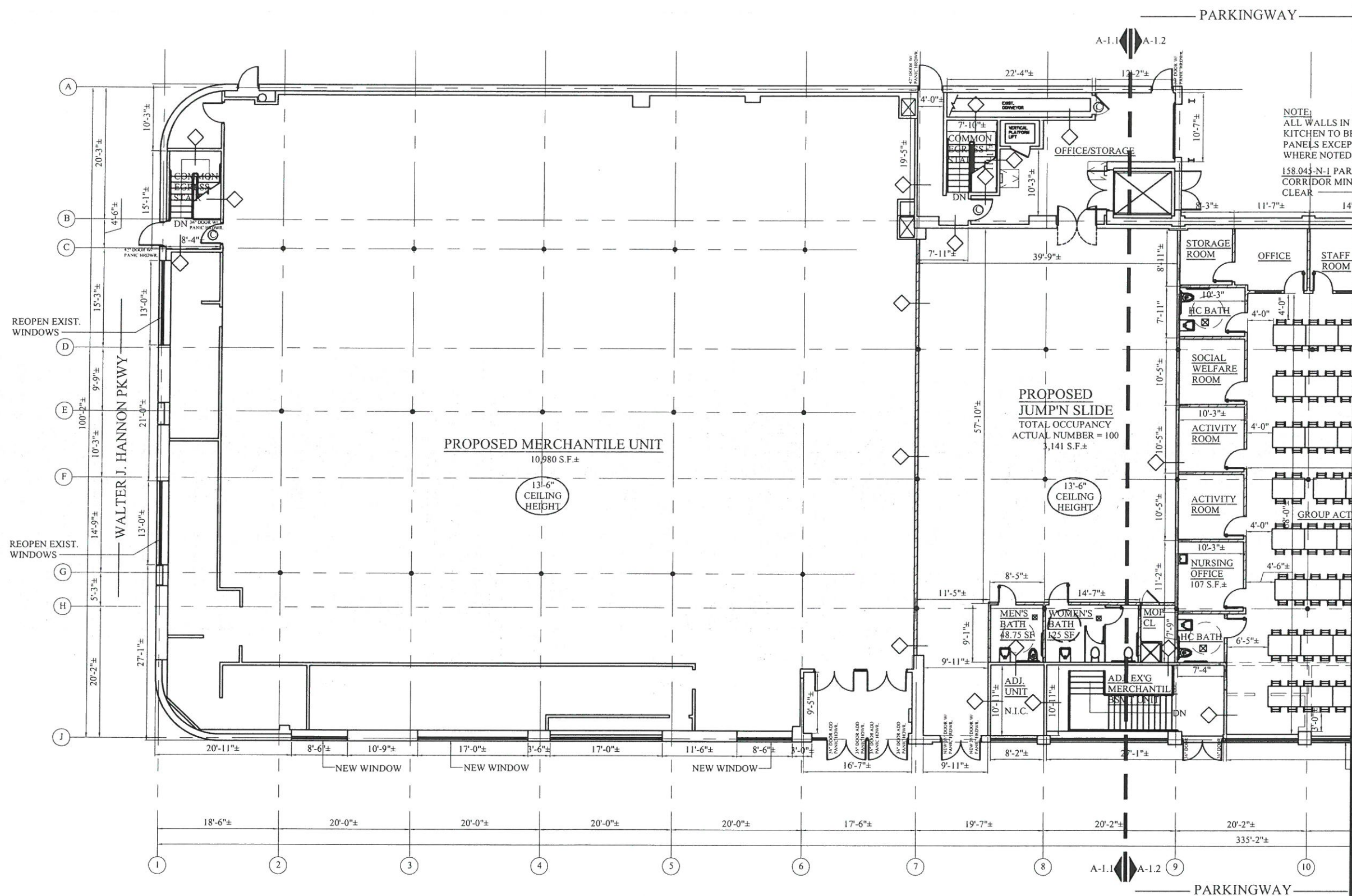
Project No: 15141
Scale: AS NOTED
Date: 06-11-15
Drawn By: ST

Drawing Name

COVER
SHEET

Sheet No.

A-0



Local on

**PROPOSED RENOVATION
100 PARKINGWAY
QUINCY, MA**

**Choo
& Company, Inc.**

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
	07-09-15
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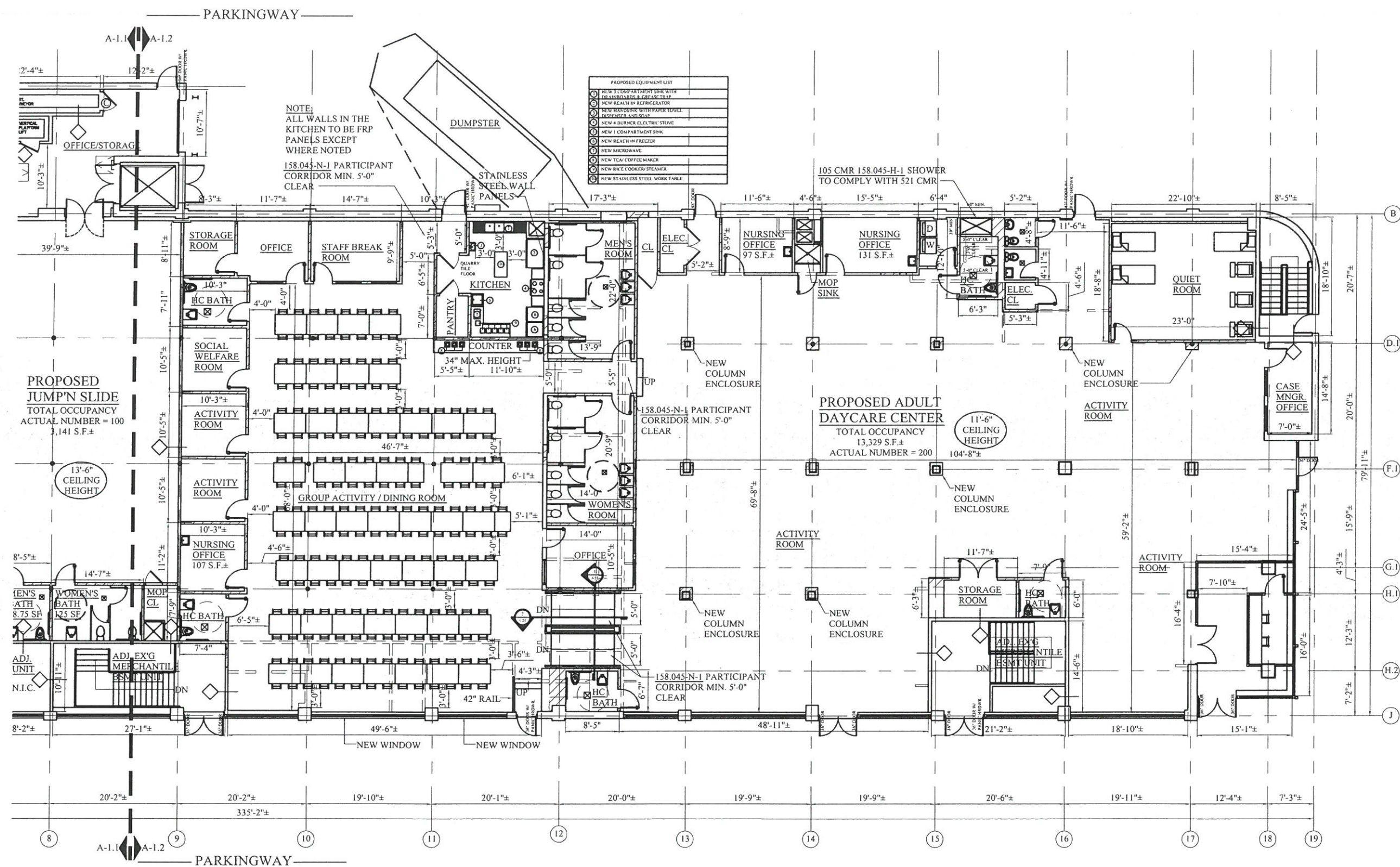
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Date: 06-11-15
Drawn By: ST

Drawing Name

**PROPOSED
FLOOR PLANS**

Sheet No.

A-1.1



PROPOSED EQUIPMENT LIST

NEW 1 COMPARTMENT SINK WITH HANDWASHING & JELGASE SOAP
NEW REACH-IN REFRIGERATOR
NEW HANDSINK WITH PAPER TOWEL DISPENSER AND SOAP
NEW 4 BURNER ELECTRIC STOVE
NEW 1 COMPARTMENT SINK
NEW REACH-IN FREEZER
NEW MICROWAVE
NEW TEA/COFFEE MAKER
NEW RICE COOKER/STEAMER
NEW STAINLESS STEEL WORK TABLE

NOTE:
ALL WALLS IN THE KITCHEN TO BE FRP PANELS EXCEPT WHERE NOTED
158.045-N-1 PARTICIPANT CORRIDOR MIN. 5'-0" CLEAR

PROPOSED ADULT DAYCARE CENTER
TOTAL OCCUPANCY 13,329 S.F.
ACTUAL NUMBER = 200

NOTE:
MINIMUM R-21 INSULATION ON ALL EXPOSED EXTERIOR STUD WALLS

GENERAL NOTES:
1. 105 CMR 158.00
158.045-B-1 MIN 50 SQUARE FEET PARTICIPANT AREA PER PARTICIPANT
PARTICIPANT AREA = 12,431 S.F./200 OCCUPANTS = 62.15 S.F.± PER = OKAY
158.045-G-2 1 TOILET REQUIRED PER 12 PARTICIPANTS
OCCUPANCY = 200/12 = 16.67 TOILETS REQUIRED
17 TOILETS PROVIDED = OKAY
158.045-G-3 50% TOILETS REQUIRED TO BE ADA COMPLIANT
16.67 TOILETS/2 = 8.33 REQUIRED ADA COMPLIANT TOILETS
9 ADA COMPLIANT TOILETS PROVIDED = OKAY
158.045-G-4 PARTICIPATION AREAS ALL HAVE TOILET ROOMS LOCATED WITH-IN 40'-0" OF TRAVEL

1 PROPOSED PARTIAL FIRST FLOOR PLAN
1/8" = 1'-0"

Location

**PROPOSED RENOVATION
100 PARKINGWAY
QUINCY, MA**

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
	07-09-15
	07-13-15
	08-25-15
	09-01-15
	09-29-15

Project No: 15141

Scale: AS NOTED

Date: 06-11-15

Drawn By: ST

Drawing Name

PROPOSED FLOOR PLANS

Sheet No.

A-1.2

GYP BOYER INC.

 2'x4 ACT CEILING

 2'x2 ACT CEILING

 2'x4 RECESSED LIGHT

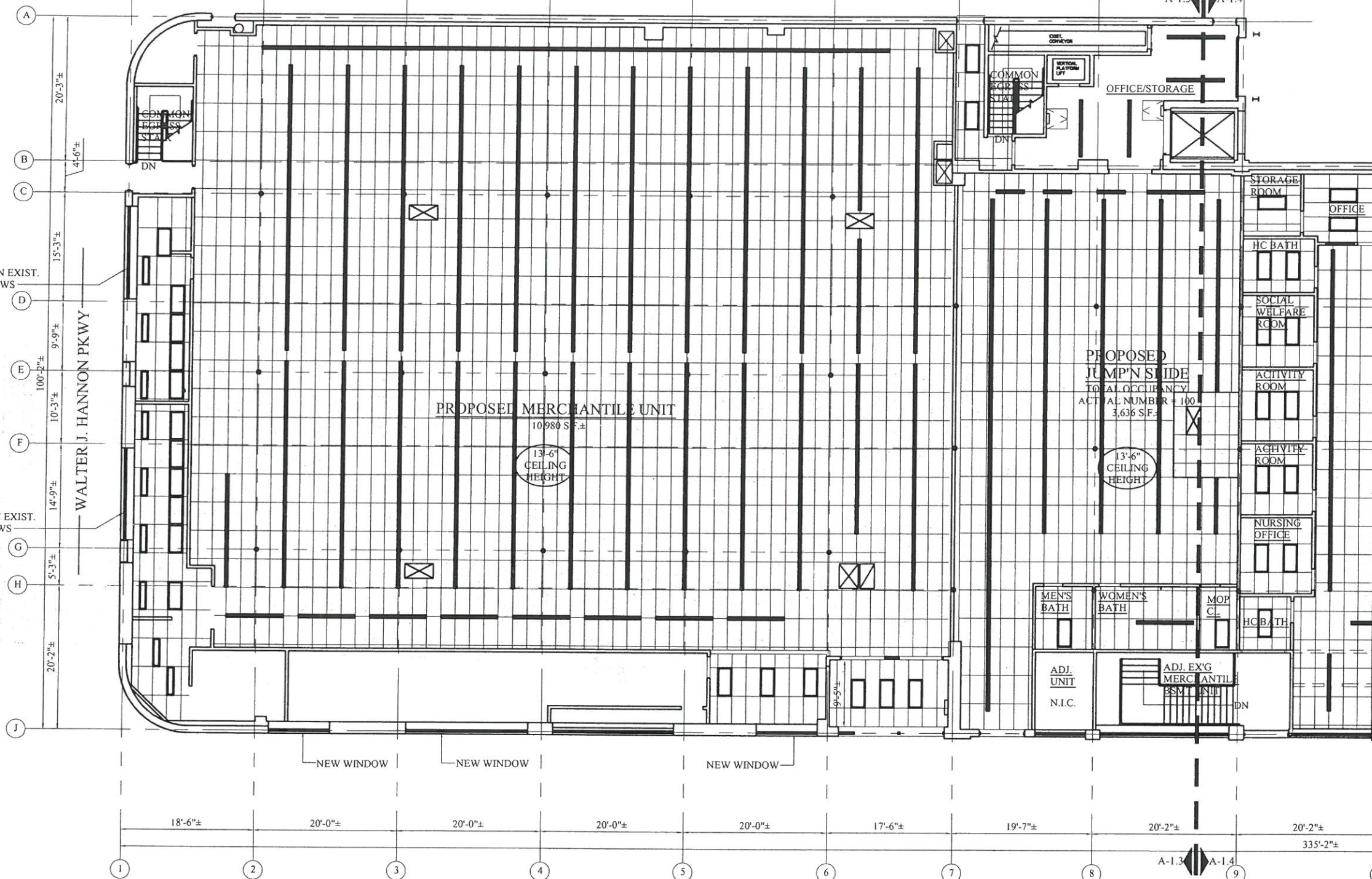
 MOISTURE RES. RECESSED LIGHT

 2'x2 RECESSED LIGHT

 8'x4 FLUORESCENT LIGHT

REOPEN EXIST. WINDOWS

REOPEN EXIST. WINDOWS



1 PROPOSED PARTIAL FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

PARKINGWAY

PARKINGWAY

PROPOSED RENOVATION
100 PARKINGWAY
QUINCY, MA

Choo & Company, Inc.

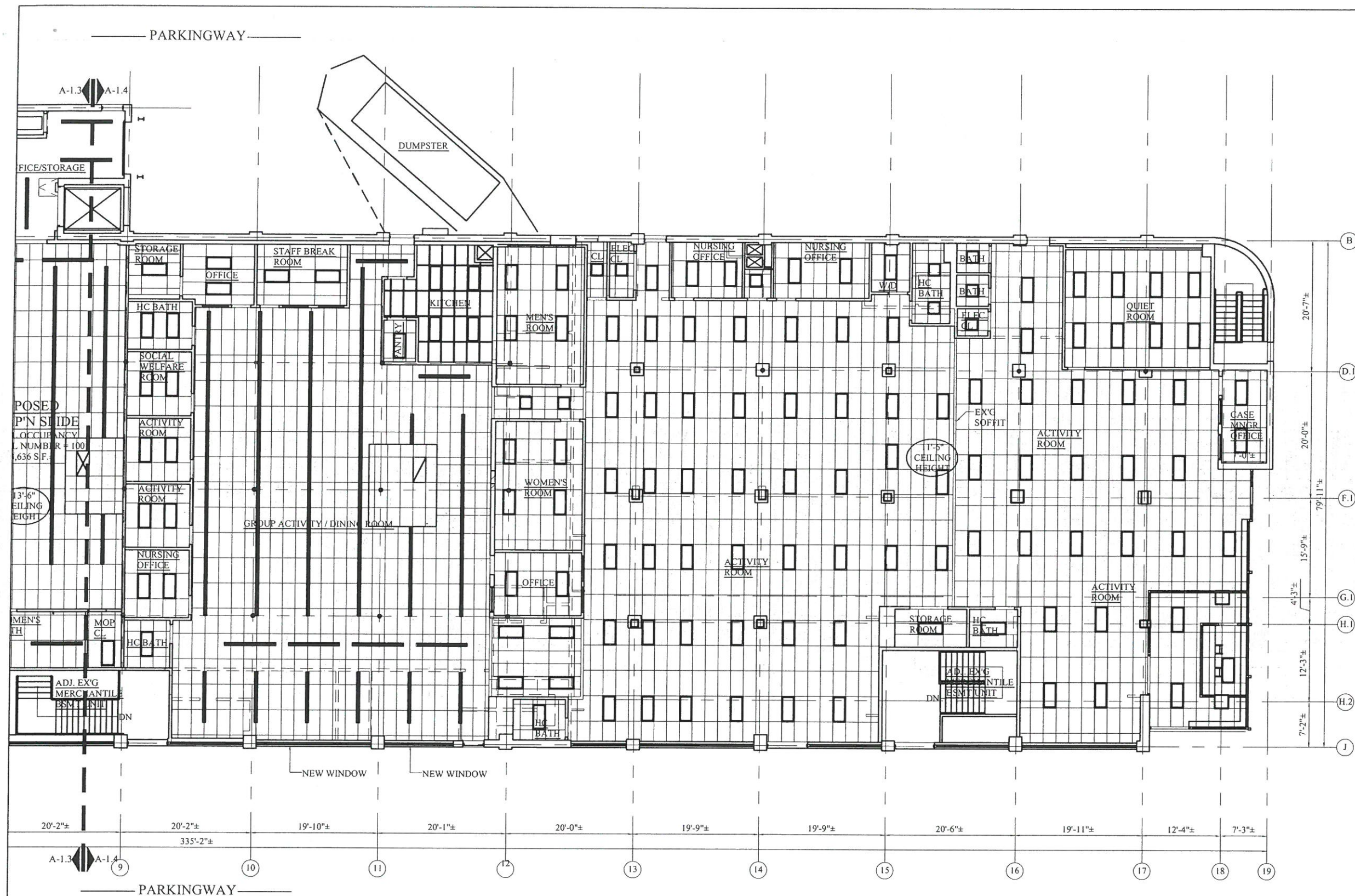
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
	07-09-15
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	08-25-15
	09-01-15
	09-29-15

Project No: 15141
Scale: AS NOTED
Date: 06-11-15
Drawn By: ST

Drawing Name
PROPOSED REFLECTED CEILING PLAN

Sheet No.
A-1.3



Location

PROPOSED RENOVATION 100 PARKINGWAY QUINCY, MA

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

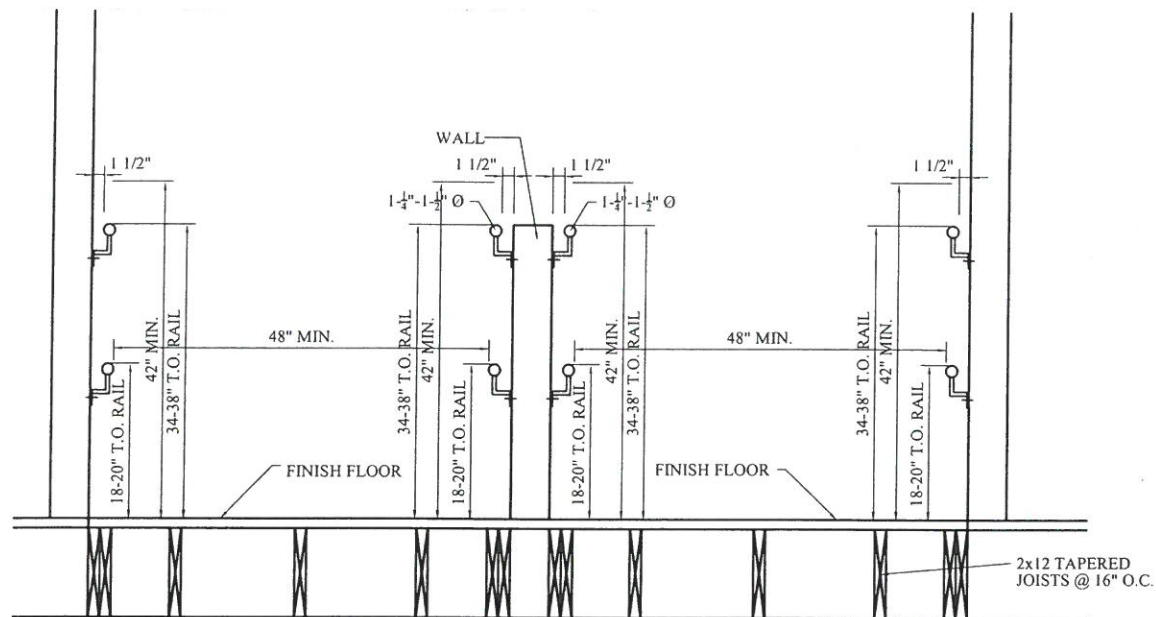
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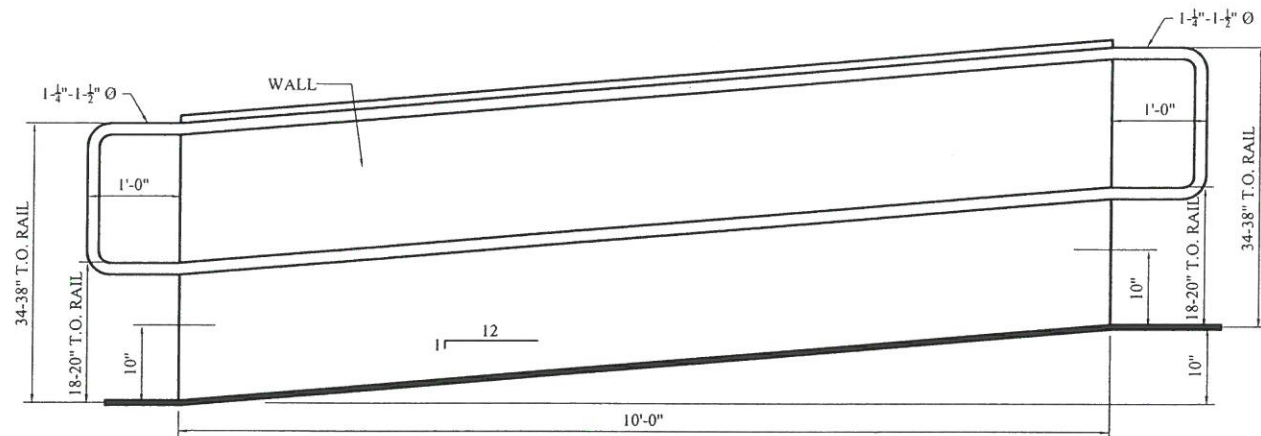
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PROPOSED REFLECTED CEILING PLAN

Sheet No.

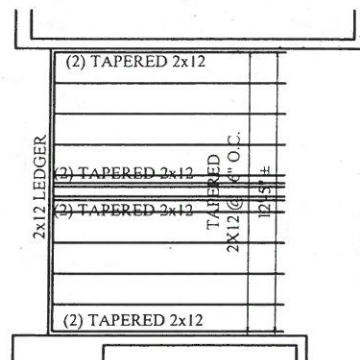
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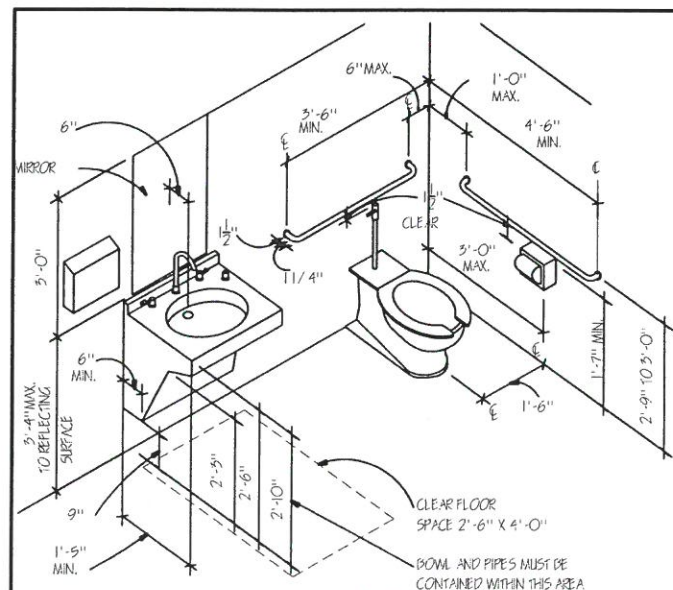
1 RAMP SECTION DETAIL
1" = 1/2'-0"



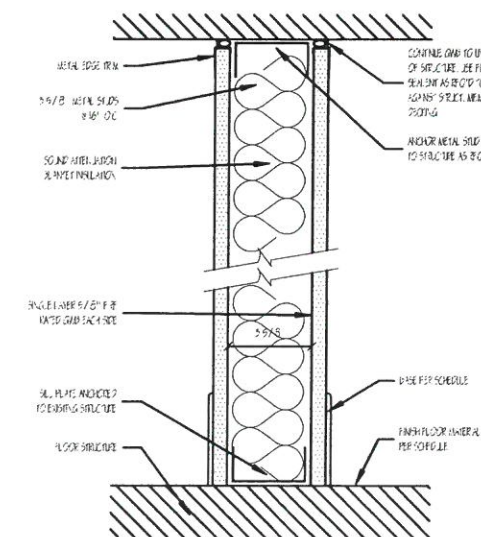
1 RAMP SECTION DETAIL
1" = 1/2'-0"



3 RAMP FRAMING
1/4" = 1'-0"



1 HANDICAP BATHROOM DETAIL
SCALE: 1/2" = 1'-0"



1 1 HOUR PARTITION - METAL STUD WALL DESIGN # U432
SCALE: 3/4" = 1'-0"

PROPOSED RENOVATION 100 PARKINGWAY QUINCY, MA

Quincy Company, Inc.

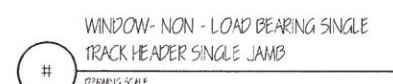
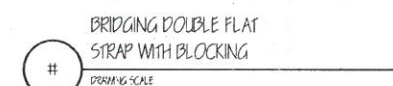
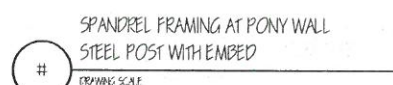
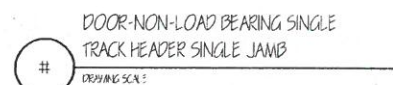
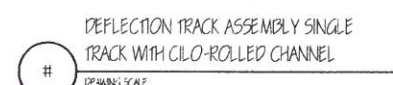
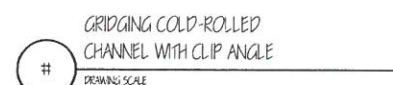
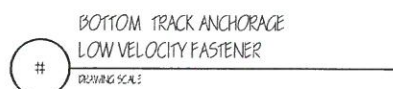
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No.	Revision Date
	07-09-15
	07-13-15
	08-25-15
	09-01-15
	09-29-15

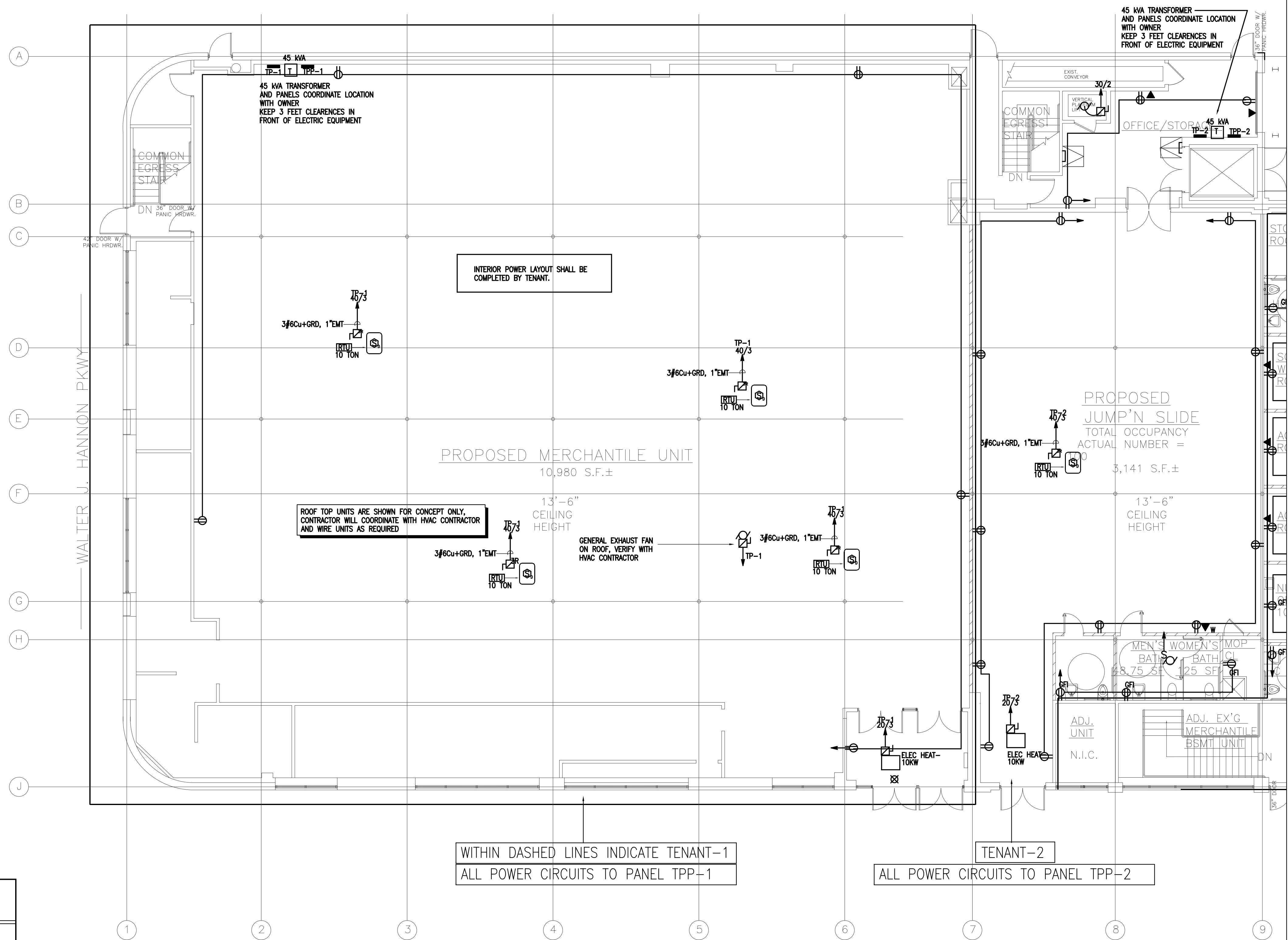
Project No: 15141
Scale: AS NOTED
Date: 06-11-15
Drawn By: ST

Drawing Name
DETAILS

Sheet No.
A-3.1



Sheet No. A-3.2



ELECTRIC HEATER SCHEDULE				
TYPE	KW	VOLT/PH	WIRE	MODEL NUMBER
RWH-4	4	208/1	2#10	Q'MARK#AWH-4408-2
RWH-2	2	208/1	2#12	Q'MARK#AWH-4208-2
SWH-4	4	208/1	2#10	Q'MARK#AWH-4408-2
EBB-2	0.5	120/1	2#12	Q'MARK#QMK-2512W
EBB-3	0.75	120/1	2#12	Q'MARK#QMK-2513W
EBB-4	1	120/1	2#12	Q'MARK#QMK-2514W

UNLESS NOTED OTHERWISE ALL WIRING SHALL BE #12AWG, CU, AND FED FROM LIGHTING PANEL RESPECTIVE TENANT PANEL TPP VIA 20A/1P C.B. CIRCUITS LONGER THAN 100FT SHALL BE #10 CU

NO EXPOSED WIRING IS ALLOWED. ALL CONCEALED WIRING WITHIN THE UNITS SHALL BE "MC". ALL WIRING IN BLOCK WALLS SHALL BE CONCEALED, RUN IN CONDUIT. ALL SURFACE WIRING SHALL BE IN EMT.

ALL RECEPTACLES INSTALLED IN PUBLIC AREAS AND ACCESSIBLE BY CHILDREN AND INDICATED SHALL BE SAFETY TYPE AS MANUFACTURED BY LEVITON "5262-SG" OR APPROVED EQUAL.

OUTLETS AT FOLLOWING LOCATIONS SHALL BE GFI TYPE REGARDLESS HOW THEY ARE SHOWN.

- RESIDENTIAL BATHROOMS, 210.8(A)(1)
- RESIDENTIAL KITCHENS, 210.8(A)
- DISHWASHERS, 210.8(D)
- DRINKING FOUNTAIN, 422.52
- COMMERCIAL KITCHENS, 210.8(B)(3)
- ROOF TOPS, 210.8(B)(2)

1 PARTIAL FIRST FLOOR PLAN-POWER
1/8" = 1'-0"

Location

PROPOSED RENOVATION
100 PARKINGWAY
QUINCY, MA

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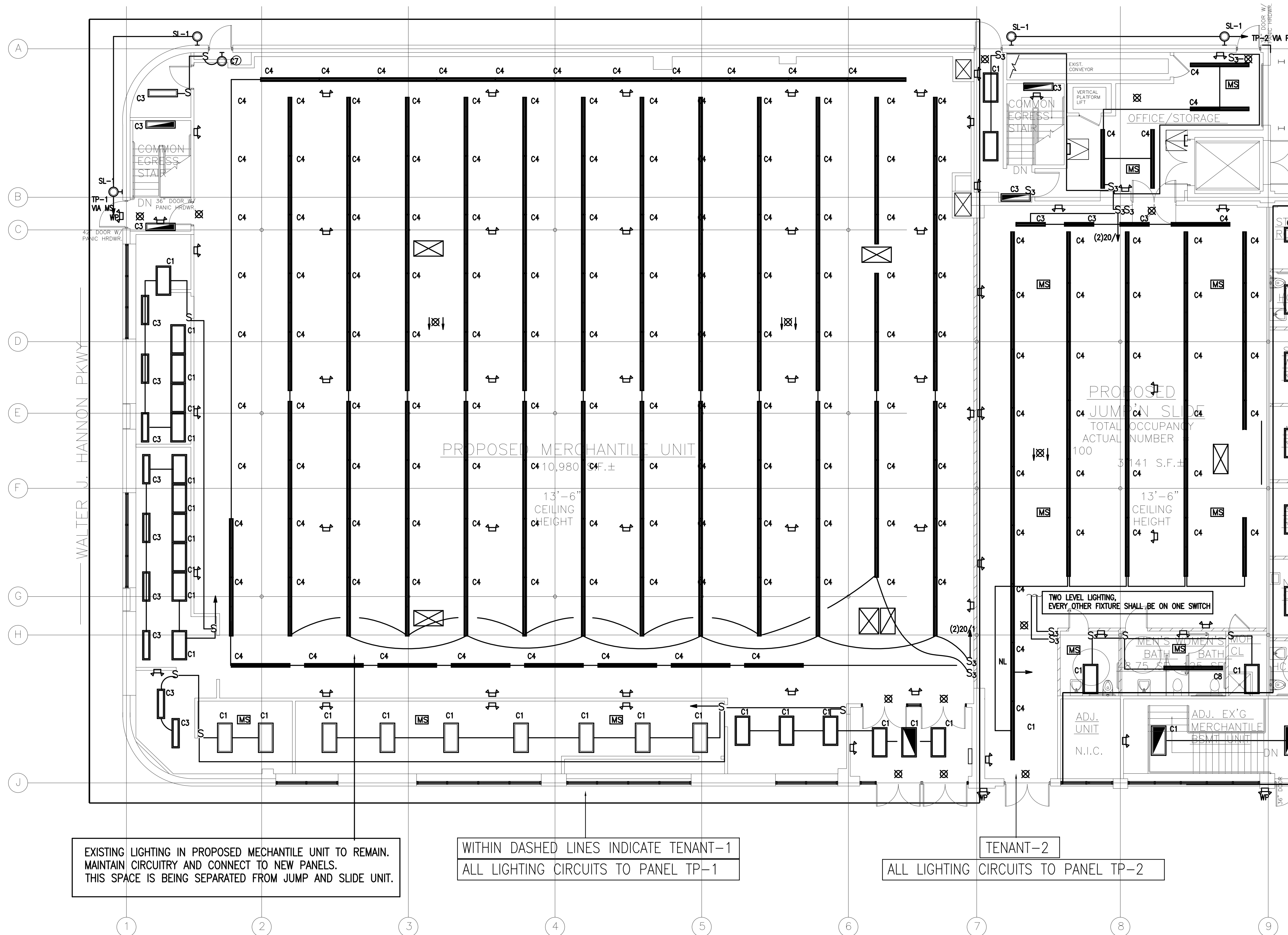
No.	Revision Date
	09-28-15

Project No: 15141
Scale: AS NOTED
Date: 06-29-15
Drawn By:

Drawing Name

PARTIAL
FIRST FLOOR
POWER PLAN

Sheet No.
E-1.1



EXISTING LIGHTING IN PROPOSED MECHANILE UNIT TO REMAIN. MAINTAIN CIRCUITRY AND CONNECT TO NEW PANELS. THIS SPACE IS BEING SEPARATED FROM JUMP AND SLIDE UNIT.

WITHIN DASHED LINES INDICATE TENANT-1
ALL LIGHTING CIRCUITS TO PANEL TP-1

TENANT-2
ALL LIGHTING CIRCUITS TO PANEL TP-2

UNLESS NOTED OTHERWISE ALL WIRING SHALL BE #12AWG, CU, AND FED FROM LIGHTING PANEL. RESPECTIVE TENANT PANEL TP VIA 20A/1P C.B. CIRCUITS LONGER THAN 100FT SHALL BE #10 CU
NO EXPOSED WIRING IS ALLOWED, ALL CONCEALED WIRING WITHIN THE UNITS SHALL BE "MC", ALL WIRING IN BLOCK WALLS SHALL BE CONCEALED, RUN IN CONDUIT.
ALL SURFACE WIRING SHALL BE IN EMT.

CONNECT ALL EXIT SIGNS AND EMERGENCY BATTERIES TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY CONTROLS TYPICAL FOR ALL AREAS
PROVIDE RELAY WHERE MULTIPLE CIRCUITS ARE CONTROLLED FROM OCCUPANCY SENSORS, IN OPEN AREAS WITH MULTIPLE CIRCUITS AND MULTIPLE SENSORS CIRCUITS WILL BE CONTROLLED VIA RELAYS AND OCCUPANCY SENSORS

△ INDICATES EXTERIOR MOUNTED EMERGENCY LIGHT. CONNECT ALL REMOTE EMERGENCY LIGHTS ON CIRCUITS SO THAT (WATTSXFT) IS LESS THAN 3200 UNITS AND WIRE WITH #10 CU TO REMOTE. BATTERY PROVIDE 12V SEALED CALCIUM BATTERY UNIT AS REQUIRED OR AS SPECIFIED. BATTERY SHALL BE LOCATED IN A WARM ROOM AND FED FROM LIGHTING CIRCUIT SERVING THE AREA WHERE REMOTE HEADS ARE LOCATED. BATTERY SHALL BE EMERG-LITE 12LSM 220V OUTDOOR LIGHTS SHALL BE EMERG-LITE EF110

1 PARTIAL FIRST FLOOR PLAN-LIGHTING
1/8" = 1'-0"

Location

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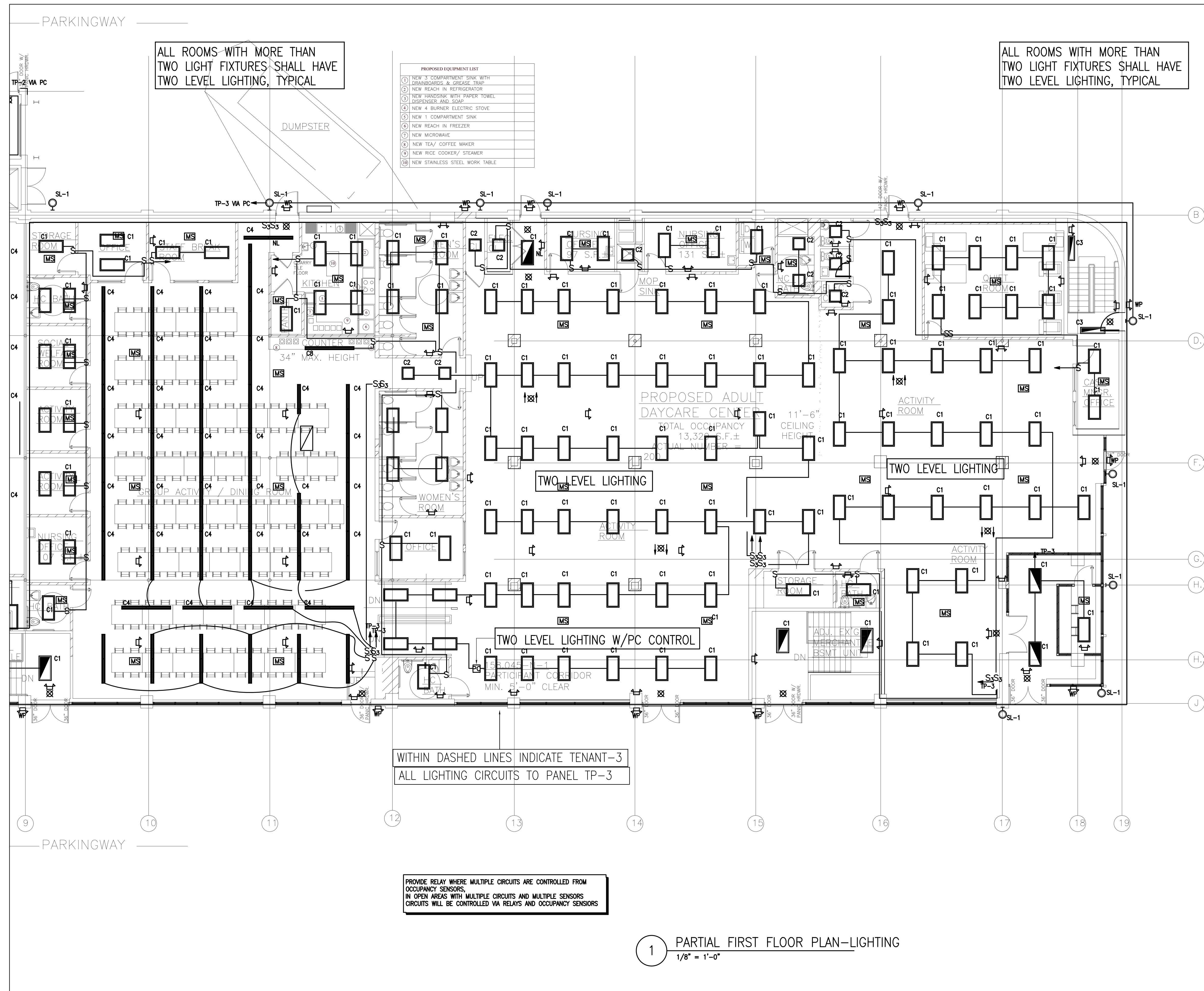
No.	Revision Date
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Scale: AS NOTED
Date: 06-29-15
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Drawing Name

PARTIAL
FIRST FLOOR
LIGHTING PLAN

Sheet No.
E-2.1



**PROPOSED RENOVATION
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QUINCY, MA**

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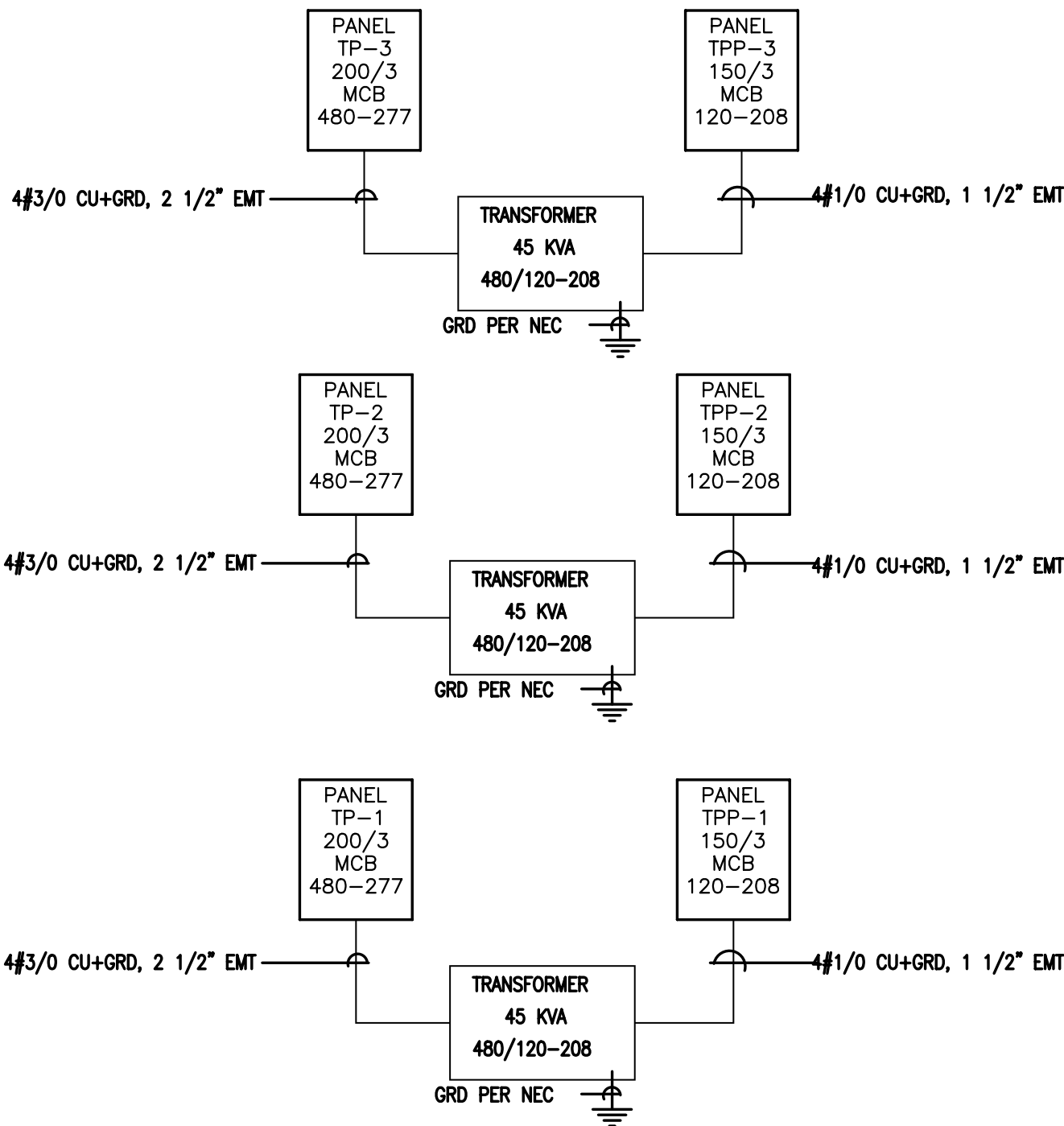
PARTIAL FIRST FLOOR LIGHTING PLAN

Sheet No.

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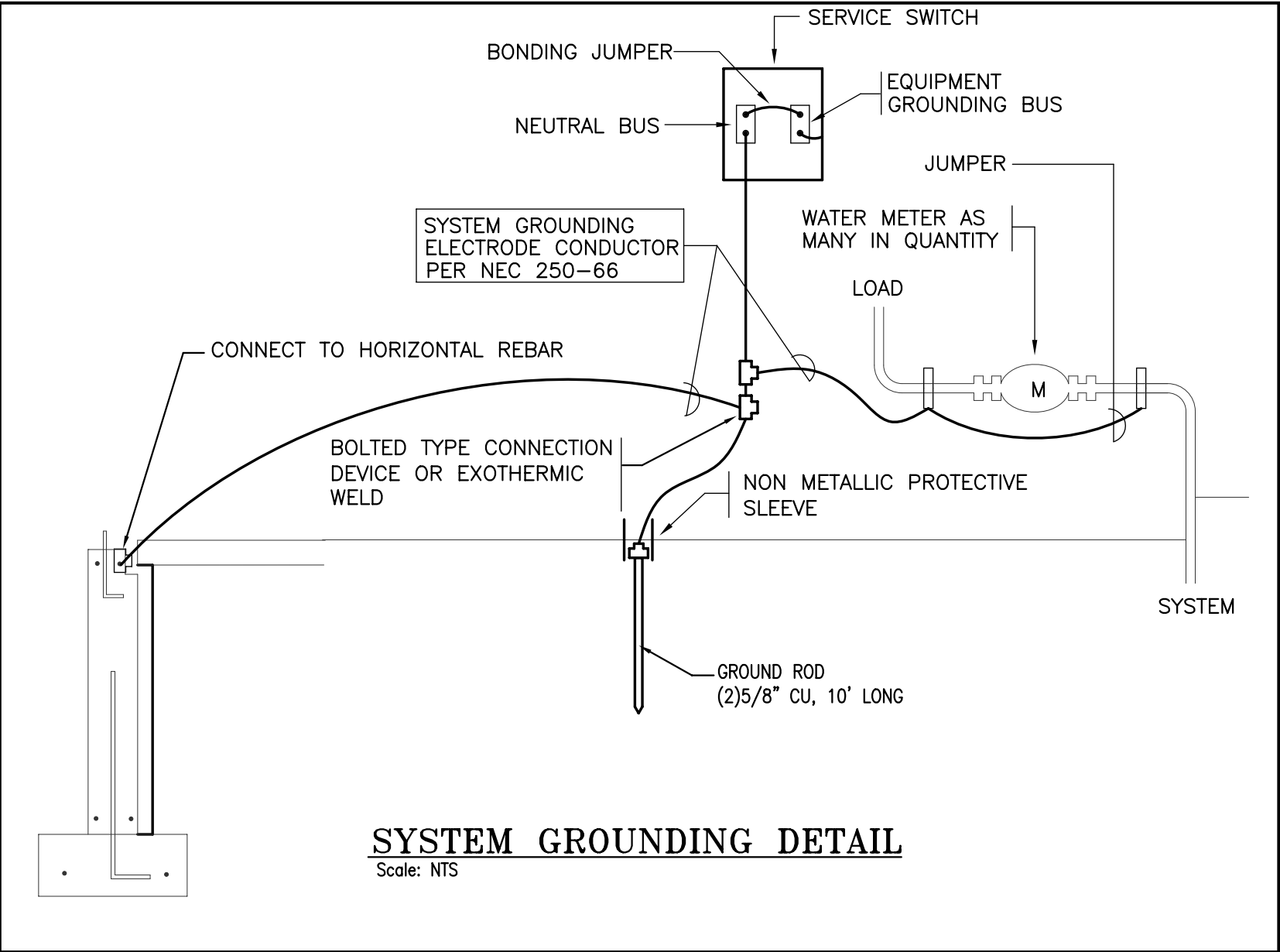
PANEL SCHEDULE									
ITEM	VOLT/PHASE/WIRE	MLO	MCB	CIRC	F:Flush S:Surf.	P:Plug B:Bole	BRANCH BREAKERS		SPR=SPARE SPC=SPACE
PANEL TP-1	480-277/3/4	-	200	42	S	B	(1)150/3, (4)40/3, (1)20/3, (10)20/1, (14)20/1		SPR AND SPACES
PANEL TP-2	480-277/3/4	-	200	42	S	B	(1)150/3, (1)40/3, (1)20/3, (1)30/2, (5)20/1, (5)20/1		SPR AND SPACES
PANEL TP-3	480-277/3/4	-	200	42	S	B	(1)150/3, (2)60/3, (1)15/3, (10)20/1, (10)20/1		SPR AND SPACES
PANEL TPP-1	208-120/3/4	-	150	42	S	B	(42)20/1		
PANEL TPP-2	208-120/3/4	-	150	42	S	B	(1)30/2, (40)20/1		
PANEL TPP-3	208-120/3/4	-	150	42	S	B	(2)30/2, (38)20/1		
-	-	-	-	-	-	-			
-	-	-	-	-	-	-			

PANELBOARDS MAY BE SERIES RATED OR FULLY RATED FOR AVAILABLE SHORT CIRCUIT RATINGS.
IF SERIES RATINGS ARE APPLIED SUPPLIER SHALL BE RESPONSIBLE FOR PROVIDING PROPER SERIES RATED EQUIPMENT AS REQUIRED.
AVAILABLE SHORT CIRCUIT CURRENT FOR THE MAIN SERVICE IS 25TIMES OF THE FULL LOAD SERVICE CURRENT.
DOWNSTREAM PANELS SHALL BE SERIES RATED ACCORDINGLY, AVAILABLE SHORT CIRCUIT CURRENT FOR TRANSFORMERS ARE 35 TIMES OF TRANSFORMER FULL LOAD CURRENT.
SEE RISER DIAGRAM FOR CONNECTION DIAGRAM OF THE PANELS. NO LINE IMPEDANCES ARE TO BE CONSIDERED IN SERIES RATING APPLICATIONS.
FOR APPLICATIONS WHERE SERVICE INFORMATION IS NOT SHOWN THAN SERIES RATING SHALL BE APPLIED BASED ON 25 TIMES OF THE FULL LOAD CURRENT OF ANY ATTACHED EQUIPMENT (PANEL OR BUS-DUCT)



KITCHEN EQUIPMENT WIRING NOTES

1. ALL HOMERUNS SHALL BE IN EMT WITH GREEN GROUND, WIRING IN STUD WALLS MAY BE "MC". UNDERGROUND CONDUITS SHALL BE PVC. SCHEDULE 40. FINAL CONNECTION FROM WALL JUNCTION BOX TO KITCHEN EQUIPMENT SHALL BE WITH LIQUID TITE FLEX.
2. EXACT AND FINAL LOCATIONS OF ALL KITCHEN EQUIPMENT SHALL BE COORDINATED WITH THE LATEST KITCHEN EQUIPMENT UTILITY CONNECTION PLANS AND EQUIPMENT CUTS. OBTAIN THE LATEST KITCHEN SUPPLIER DRAWINGS FROM THE ARCHITECT PRIOR TO ANY ROUGHING-IN.
3. ANY RELOCATION OF ANY EQUIPMENT WITHIN 15'-0" IN PLAN RADIUS OF ORIGINAL LOCATION, PRIOR TO ROUGHING-IN, IF REQUESTED BY THE ARCHITECT SHALL BE EXECUTED BY E.C. AT NO ADDITIONAL COST.
4. ALL ROUGHING-IN HEIGHTS SHALL BE COORDINATED WITH THE KITCHEN EQUIPMENT SUPPLIER.
5. ALL RECEPTACLES AND LIGHT SWITCHES LOCATED IN THE KITCHEN SHALL HAVE SMOOTH STAINLESS STEEL FACE PLATES.
6. GC SHALL BE RESPONSIBLE FOR SETTING THE EQUIPMENT IN PLACE, EC SHALL WIRE FROM WALL OUTLET TO J. BOX ON THE UNIT.
7. ALL RECEPTACLES IN THE KITCHEN AREA SHALL HAVE GFI PROTECTION.
8. ALL CIRCUITS SERVING EQUIPMENT LOCATED UNDERNEATH THE HOOD SHALL HAVE SHUNT TRIP BREAKERS INTERLOCK WITH THE ANSUL SYSTEM.
9. PROVIDE POWER AND INTERLOCK WIRING FOR GAS SHUT-OFF SOLENOID VALVE AND ANSUL SYSTEM.
10. PROVIDE STARTER AND INTERLOCK WIRING FOR HOOD EXHAUST, MAKE-UP AIR UNIT AND ANSUL SYSTEM. UPON ANSUL ACTIVATION MAKE-UP AIR UNIT WILL SHUT DOWN AND EXHAUST FAN WILL CONTINUE TO OPERATE. IF THE SYSTEM IS OFF, EXHAUST FAN WILL START TO RUN.
11. EC SHALL WIRE ALL MISCELLANEOUS EQUIPMENTS NORMALLY PART OF THE KITCHEN EQUIPMENT INCLUDING BUT NOT LIMITED TO
A)DRUM SWITCH FOR DISPOSER AND WIRING FOR SELONOID VALVE
B)TIMER SWITCH CONTROL WIRING BETWEEN WALK-IN CONDENSER AND EVAPORATOR
C)RECEPTACLE FOR FREEZER CONDENSATE DRAIN HEAT TRACE
D)PROVIDE REMOTE ON/OFF SWITCH FOR HOOD VENTILATION SYSTEM CONTROL
E)PROVIDE OIL TIGHT ON/OFF SWITCH FOR HOOD LIGHTS
12. PROVIDE ANSUL CONNECTION TO FIRE ALARM CONTROL PANEL
13. PROVIDE CARBON MONOXIDE DETECTOR NEAR HOOD AT CEILING. CARBON MONOXIDE DETECTOR SHALL BE INTERLOCKED WITH GAS SHUT OFF VALVE TO CLOSE UPON ACTIVATION OF DETECTOR.
14. GAS SHUT OFF VALVE SHALL ALSO BE INTERLOCKED WITH EXHAUST FAN TO SHUT OFF WHEN FAN IS OFF.
15. CARBON MONOXIDE DETECTOR SHALL BE TIED TO FIRE ALARM CONTROL PANEL FOR SUPERVISORY.



WIRE SCHEDULE		
AMPS CB	P/W	WIRE AND CONDUIT
20	3/4	4#12 CU+#12 GRD, 3/4" EMT
30	3/4	4#10 CU+#10 GRD, 3/4" EMT
40	3/4	4#8 CU+#10 GRD, 3/4" EMT
50	3/4	4#6 CU+#10 GRD, 3/4" EMT
60	3/4	4#6 CU+#10 GRD, 1" EMT
70	3/4	4#4 CU+#8 GRD, 1" EMT
80	3/4	4#3 CU+#8 GRD, 1 1/4" EMT
100	3/4	4#3 CU+#8 GRD, 1 1/2" EMT
125	3/4	4#1 CU+#6 GRD, 1 1/2" EMT
150	3/4	4#1/0 CU+#6 GRD, 1 1/2" EMT
200	3/4	4#3/0 CU+#6 GRD, 2 1/2" EMT
225	3/4	4#4/0 CU+#4 GRD, 2 1/2" EMT
300	3/4	4#300 MCM CU+#4 GRD, 3" EMT
350	3/4	4#400 MCM CU+#3 GRD, 3" EMT
400	3/4	4#500 MCM CU+#2 GRD, 4" EMT
600	3/4	<2>4#350 MCM CU+#1/0 GRD, 3" EMT
800	3/4	<2>4#500 MCM CU+#1/0 GRD, 4" EMT

FOR SINGLE PHASE TO NEUTRAL CIRCUITS DELETE TWO WIRE
FOR SINGLE PHASE TO PHASE NO-NEUTRAL CIRCUITS DELETE TWO WIRES
FOR SINGLE PHASE TO PHASE WITH NEUTRAL CIRCUITS, DELETE ONE WIRE
-FEEDERS ARE SIZED BASED ON %3 VD.
CONTRACTOR SHALL FOLLOW THE FOLLOWING CRITERIA.

50A, UP TO 100FT #6, INCREASE BY ONE SIZE FOR EVERY 30FT.
100A, UP TO 100FT #3, INCREASE BY ONE SIZE FOR EVERY 30FT.
200A, UP TO 150FT #3/0, INCREASE BY ONE SIZE FOR EVERY 50 FT.
400A, UP TO 200FT #500, INCREASE BY ONE SIZE FOR EVERY 50FT.

Location

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POWER RISER
SCHEDULES

Sheet No.

E-3.1

FIXTURE SCHEDULE					
TYPE	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP	DESCRIPTION
C1	CARRY ALLOWANCE	\$200	277	(4)F32-T8	2X4 FIXTURES
C2	CARRY ALLOWANCE	\$200	277	(2)FU32-T8	4X4 FIXTURES
C3	CARRY ALLOWANCE	\$200	277	(2)F32-T8	1X4 FIXTURES
C4	CARRY ALLOWANCE	\$200	277	(4)F32-T8	1X8 FIXTURES
C5	CARRY ALLOWANCE	\$200	277	(1)13W CFL	ABOVE MOP SINK
SL-1	CARRY ALLOWANCE	\$200	277	(1)26W CFL	WALL SCNCE ON BUILDING EXTERIOR
-	-	-	-	-	-
☒	CARRY ALLOWANCE	\$200	277	LED AS REQUIRED	SELF POWERED EXIT SIGN
⏏	CARRY ALLOWANCE	\$200	277	(2)5W HAL	INTERIOR EMERGENCY LIGHT W/BATTERY
⏏	CARRY ALLOWANCE	\$200	277	(2)5W HAL	WP EXTERIOR EMERGENCY LIGHT HEAD PROVIDE EMERGENCY SEPARATE EMERGENCY BATTERY

PROVIDE MASTER/SLAVE BALLAST AND WIRING AS REQUIRED TO MEET ENERGY CODES REGARDLESS SHOWN OR NOT
LAMPS AND BALLASTS SHALL BE IN COMPLIANCE WITH LOCAL UTILITY COMPANY REBATE PROGRAMS,
SPECIFICATIONS ABOVE FOR THE FIXTURE TYPE ONLY
FLUORESCENT FIXTURES SHALL HAVE ELECTRONIC BALLASTS THD LESS THAN ¾15
FIXTURES MOUNTED IN INSULATED CEILINGS, EC SHALL PROVIDE HOODS TO KEEP INSULATION AWAY
FIXTURES MOUNTED IN RATED CEILINGS (SEE ARCHITECTURAL DRAWINGS), EC SHALL PROVIDE HOODS TO MAINTAIN RATINGS

ELECTRICAL SPECIFICATIONS

1.1 General

- A. The General Conditions and Drawings issued for this Project shall be considered as part of the Electrical Specifications.
- B. The term "This Contractor" as used under this Section and wherever used on the Drawings shall mean the Electrical Contractor.

1.2 Scope of Work

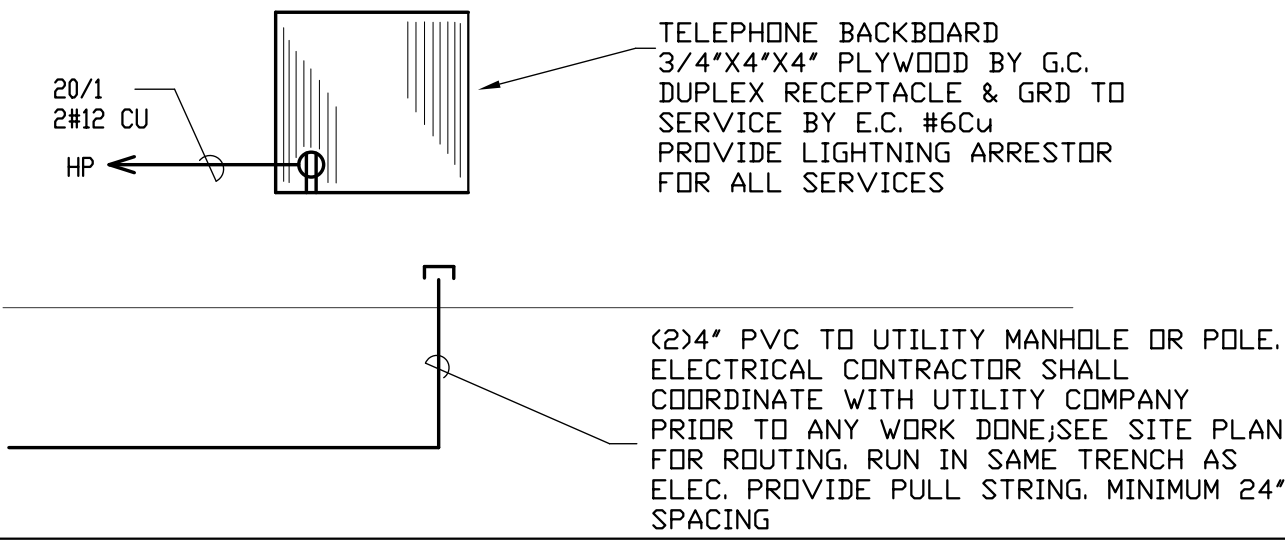
- A. The work under this Specification includes the furnishing of all labor and material as specified herein and as shown on the Drawings necessary to install a complete and ready for operation. Manufacturer's catalogue numbers are shown for reference purposes only. They are meant to provide a general description of the design and quality of materials required. Equivalent products by other manufacturers will be considered.

1.3 Codes and Specifications

- A. The work shall be conducted in accordance with the latest rules and regulations of the State of MASSACHUSETTS and the local codes as most recently issued, OSHA codes, National Electrical Codes and NFPA.
- B. All exposed wiring shall be in electric metallic tubing. All concealed wiring shall be in accordance with local codes.
- C. All branch circuit conductors shall be copper, minimum #12 AWG size THHN or THWH as required, 600V rated.
- D. All feeder conductors shall be copper, AWG size as noted XHHW insulation, 600V.

1.4 Coordination of Work

- A. The Contractor shall schedule and coordinate his work with all trades involved to insure proper installation and operation.
- B. The Contract Drawings are diagrammatic only and indicate the extent, general locations and arrangement of the piping and wiring of equipment. The exact locations shall be coordinated with Architectural Drawings and Documents of other trades.
- C. This Contractor shall verify fixture mounting and location against plans, elevations and detail drawings. Exact location of all fixtures shall be confirmed with owner's representative prior to rough-in.
- D. Submit Shop Drawings and product data within thirty (30) days after award of the Contract. Check, stamp and mark with project name submittals before transmitting to Architect. Indicate deviations from Contract Documents.
- E. This Contractor shall give notices, file plans, obtain permits and licenses, pay fees and back charges, and obtain the necessary approvals from authorities that have jurisdiction.
- F. Material and equipment shall be UL, ASME and AGA approved for intended service.
- G. Guarantee work in writing for one year from date of final acceptance. Repair or replace defective materials or installation at no cost to Owner. Correct damage caused in making necessary repairs and replacements under guarantee at no cost to the Owner.
- H. Submit guarantee to Architect before final payment.



TELEPHONE SYSTEM RISER DIAGRAM

TELEPHONE SYSTEM

- A. FURNISH AND INSTALL A COMPLETE SYSTEM OF CONDUITS AND BACKBOARDS FOR TELEPHONE INSTRUMENTS AS SHOWN ON THE PLANS.
- B. TELEPHONE TERMINAL LOCATIONS AS SHOWN ON THE PLANS SHALL BE 30" X 48" X 3/4" PLYWOOD. GROUND CONNECTIONS SHALL BE MADE BY THE TELEPHONE COMPANY. ELECTRICAL CONTRACTOR SHALL PROVIDE PRIMARY ARRRESTER WITH FUSE AND I#6CU GROUNDING WIRE AND GROUND BOLT CONNECTED TO SERVICE GROUND
- C. A NYLON FISH WIRE SHALL BE LEFT IN ALL CONDUITS TO FACILITATE PULLING-IN TELEPHONE WIRES. FURNISH AND INSTALL ONE NYLON PULL WIRE FOR PULLING IN TELEPHONE SERVICE IN ALL CONDUITS. SEE SITE PLAN FOR SERVICE ENTRANCE.
- D. LOCAL TELEPHONE COMPANY SHALL BE RESPONSIBLE FOR TELEPHONE WIRING FROM THEIR OUTDOOR TERMINATION CABINET TO A NETWORK INTERFACE LOCATED IN THE TELEPHONE ROOM.
- F. EACH TELEPHONE OUTLET SHALL BE WIRED TO DATA INTERFACE TERMINATION BOARD WITH PLENUM RATED CAT 6 , #20/8 TWISTED DATA WIRE TERMINATED IN TESTED AND CERTIFIED CAT 6 TERMINATION STYLE AT BOTH ENDS AND CLEARLY RINGED AND TAGGED.

CONSTRUCTION AND TEST REQUIREMENTS (NEC REQUIREMENTS)

800.50 PREVENTS LAYING TELEPHONE WIRES ON CEILING TILES.

800.50 REQUIRES PRIMARY PROTECTOR FOR MOST UNDERGROUND AND ALL OVERHEAD SERVICES

800.30 (2) REQUIRES FUSED TYPE PRIMARY PROTECTOR AT SERVICE ENTRANCE

800.50 REQUIRES ALL METAL SHIELDS TO BE GROUNDED

800.50 REQUIRES INSULATED GROUNDING CONDUCTOR TO BE MINIMUM #14, NO LONGER THAN 20FT AND CONNECTED TO BUILDING GROUND SYSTEM. WITH MINIMUM #6 BONDING CABLE.

800.50 REQUIRES TYPE CMP FOR PLENUM, CMR FOR RISER APPLICATIONS,

800.51 REQUIRES MINIMUM 2" BETWEEN POWER LINES AND COMMUNICATION LINES, RECOMMENDED PRACTICE 6" FROM BALLASTS AND 6FT FROM LIGHTNING WIRES.
ALSO KEEP DISTANCE FROM HEAT SOURCES.
KEEP MINIMUM 6" FROM 20A/2KW CIRCUITS
KEEP MINIMUM 12" FROM 30A/5KW CIRCUITS
KEEP MINIMUM 24" FROM ANY FEEDER.
FOR SHIELDED CABLES THESE VALUES MAY BE TAKEN IN 1/3.

CAT 6 INSTALLATION RECOMMENDATIONS INCLUDE

CAT 6 INSTALLATION REQUIRES MINIMUM ¾" UNTWIST
MINIMUM 1" BENDING RADIUS FOR FOUR PAIR OR 4X. FOR 25 PAIR 10XDA.
PROVIDE MINIMUM TWO LINES AT EACH LOCATION ONE FOR TELEPHONE OTHER FOR DATA
WATCH FOR THAT A KINKED CABLE REDUCES 2.5DB; A SINGLE 1" RADIUS BEND REDUCES 2 DB.
CAT 5 TEST WILL INCLUDE (PER TSB-67)

- WIRE MAP TEST (TO IDENTIFY INSTALLATION ERRORS)
- LENGTH TEST (TO VERIFY MAXIMUM OPERATIONAL LENGTH IS 300FT)
- ATTENUATION TEST (TO MEASURE MAXIMUM SIGNAL LOSS AT 100MHZ LESS THAN 22)
- NEXT (TO MEASURE SIGNAL COUPLING BETWEEN THE PAIRS AT 100MHZ LESS THAN 32)
- PROPAGATION TEST (TO MEASURE TIME IT TAKES SIGNAL FROM ONE POINT TO OTHER)

SYMBOL LIST

- CEILING MOUNTED LIGHT FIXTURE.
- WALL MOUNTED LIGHT FIXTURE.
- 2'X2' OR 2'X4' FLUORESCENT LIGHT FIXTURE.
- 1'x4' FLUORESCENT WALL/CEILING MOUNTED LIGHT FIXTURE.
- S SINGLE POLE LIGHT SWITCH
- S3 THREE-WAY LIGHT SWITCHES
- S0 DIMMER SWITCH MINIMUM 1000W OR AS REQUIRED PER CIRCUIT
- ⌀ DUPLEX RECEPTACLE, 120V,18" AFF.
- ⌀GFI DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER 8" ABOVE COUNTER TO CL
- ⌀ 120V DOUBLE DUPLEX CONVENIENCE RECEPTACLE
- ⌀ DUPLEX RECEPTACLE ABOVE COUNTER, 8" ABOVE COUNTER TO CL
- ▼W TELEPHONE JACK COMPLETE W/JACK AND COVER, (W' WALL MOUNTED @ 4'-0" A.F.F)
- ⌀ MOTOR
- ⌀3R FUSED DISCONNECT SWITCH, (3R RAIN-PROOF).
- ☒ STARTER
- RACEWAY CONCEALED IN CEILING, PLENUM OR WALLS
- RACEWAY CONCEALED IN SLAB (FLOOR)
- ⊕ UNIVERSAL MOUNTING EXIT SIGN (DOUBLE FACED), ARROWS AS INDICATED.
- ⏏ EMERGENCY BATTERY UNIT WITH MOUNTING BRACKET AND VOLTMETER.
- ⏏ DOOR CHIME
- ⏏ DOOR BELL
- /// TYPICAL WIRING, DIAGONAL LINES INDICATES QUANTITY OF CONDUCTORS.
- ← HOMERUN TO PANEL WITH CONDUCTOR.(HOT, NEUTRAL, GROUND)
- Ⓢ JUNCTION BOX
- Ⓛ LIGHTING & POWER PANEL, RECESSED
- Ⓟ PHOTOCELL
- Ⓢ TIME-CLOCK

Location

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FIXTURE
SCHEDULE
SYMBOL LIST
DETAILS

Sheet No.

E-3.2



1 PARTIAL FIRST FLOOR PLAN—FIRE ALARM
1/8" = 1'-0"

Location

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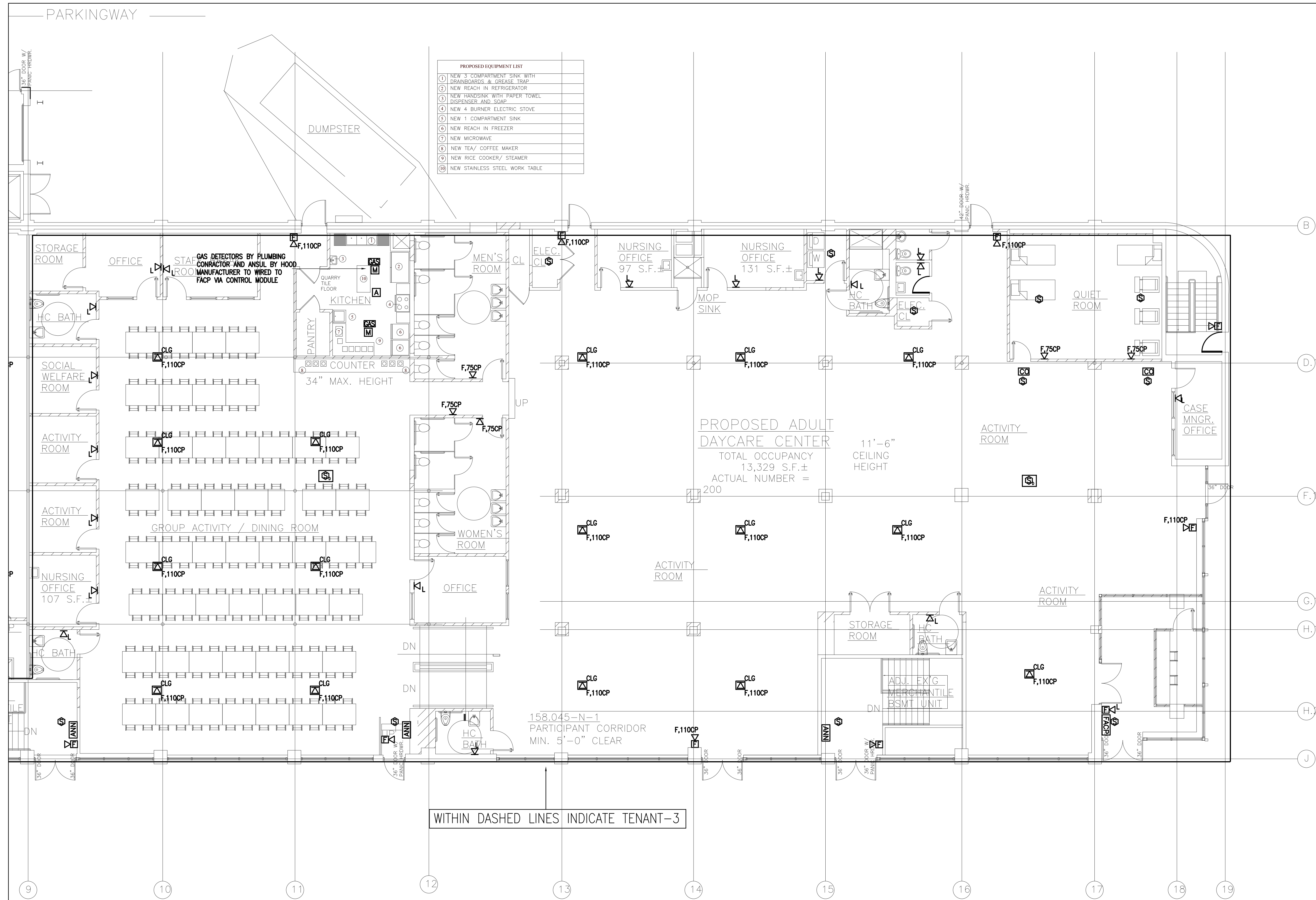
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Drawing Name

PARTIAL
FIRST FLOOR
FIRE ALARM

Sheet No.

FA-1.1



AUDIBLE DEVICES PROVIDED FOR THE SLEEPING AREAS TO AWAKEN OCCUPANTS SHALL PRODUCE A LOW FREQUENCY ALARM SIGNAL THAT COMPLIES WITH THE FOLLOWING.

(1) THE ALARM SIGNAL SHALL BE A SQUARE WAVE OR PROVIDE EQUIVALENT AWAKENING ABILITY.

(2) THE WAVE SHALL HAVE A FUNDAMENTAL FREQUENCY OF 520 HZ +/- 10 PERCENT.

1 PARTIAL FIRST FLOOR PLAN-FIRE ALARM
1/8" = 1'-0"

Location

PROPOSED RENOVATION
100 PARKINGWAY
QUINCY, MA

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

ZADE ASSOCIATES LLC
CONSULTING ENGINEERS
140 BEACH STREET, BOSTON, MA 02111
TEL. (617) 338-4406
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E-MAIL zadeo@aol.com

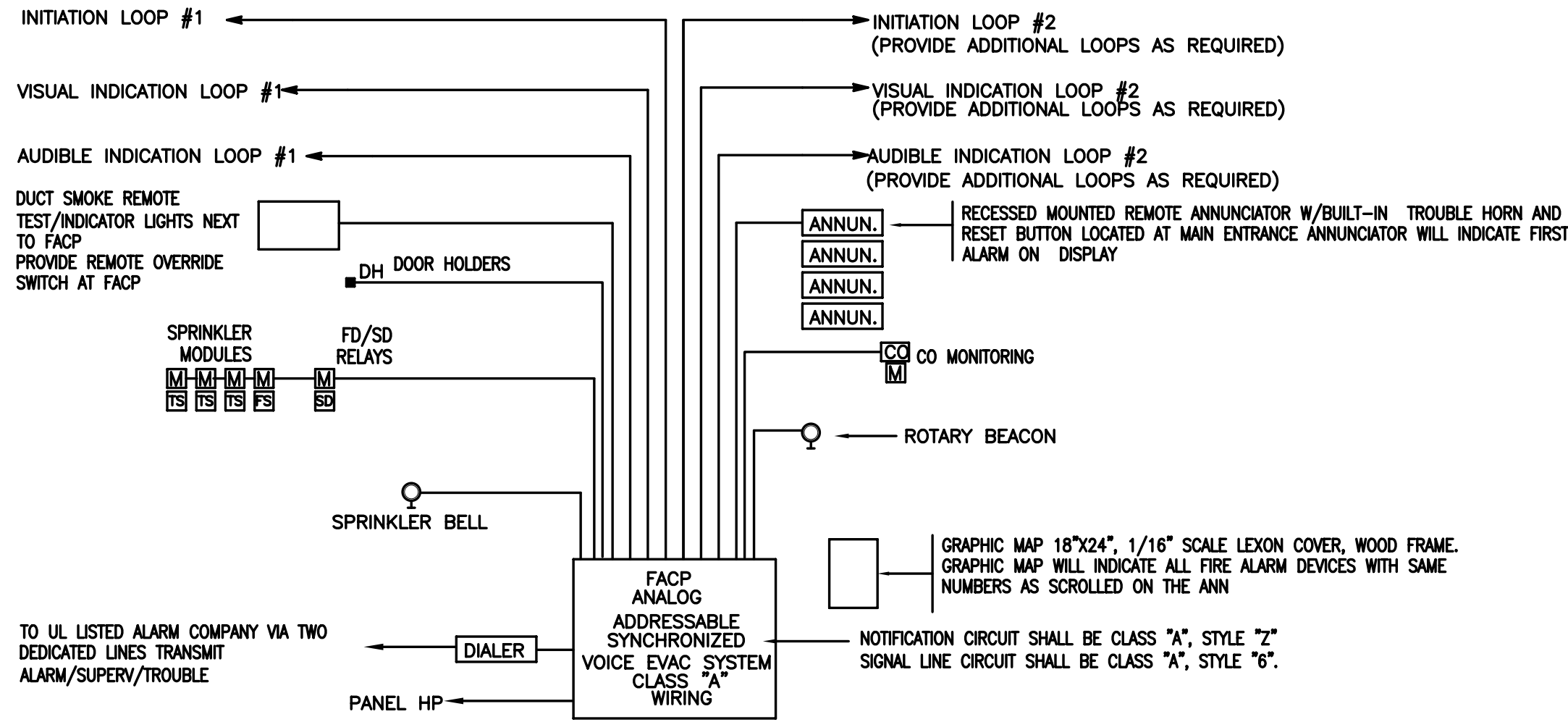
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PARTIAL
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FIRE ALARM

Sheet No.
FA-1.2



FIRE ALARM SYSTEM RISER DIAGRAM

NOTES
PROVIDE ADDRESS MODULES FOR ALL FLOW & TAMPER SWITCHES
PROVIDE COMPLETE INTERLOCK WIRING FOR HVAC UNIT SHUT DOWN
SEE FLOOR PLANS FOR DETECTOR TYPES AND LOCATIONS AND QUANTITIES.
SEE SPRINKLER DRAWINGS FOR FLOW/TAMPER SWITCH LOCATIONS AND QUANTITIES.
CARRY MINIMUM OF (1)FLOW AND (4)TAMPER SWITCH AT SPRINKLER SERVICE LOCATION
AND (1) FLOW/TAMPER SWITCH PER FLOOR PER STAIR.
PROVIDE MONITOR MODULE FOR KITCHEN ANSUL SYSTEM
PROVIDE BATTERY CALCULATIONS AND ONE LINE WIRING DIAGRAM
PROVIDE TEST CERTIFICATE FROM ALARM COMPANY
PROVIDE ADDRESS MODULE FOR ALL CO DETECTORS TO REPORT TO FACP
PROVIDE 25% SPARE CAPACITY AT THE PANEL AND EACH CIRCUIT FOR FUTURE DEVICE ADDITIONS.
PROVIDE RADIO SIGNAL COVERAGE THROUGHOUT TO BUILDING AS REQUIRED NFPA 915.2&3.
ALL AUDIO DEVICES LOCATED IN THE SLEEPING AREAS SHALL COMPLY WITH NFPA 72-18.4.5.3
IN REGARDS TO SIGNAL TYPE

SEQUENCE OF OPERATION
UPON ACTIVATION OF ANY FIRE DETECTOR, MANUAL PULL STATION OR FLOW SWITCH
-FIRE ALARM PANEL WILL TRIP AND CALL ALARM COMPANY/FIRE DEPARTMENT
-ALL AUDIO DEVICES WILL INITIATE ALARM SIGNAL TO ALERT ALL OCCUPANTS FOR ALARM CONDITION IN THE BUILDING FOR FULL EVACUATION.
-ALL VISUAL DEVICES WILL ACTIVATE, THEY SHALL BE SYNCHRONIZED TYPE.
-DURING GENERAL ALARM ALL HVAC UNITS WILL BE SHUT DOWN.
UPON ACTIVATION OF ELEVATOR LOBBY SMOKE DETECTOR
-ELEVATOR RECALL SYSTEM WILL OPERATE. NO OTHER DEVICE WILL ACTIVATE RECALL SYSTEM.
UPON ACTIVATION OF ANY SMOKE DETECTOR SMOKE DAMPERS WILL BE CLOSED.

-ALL SMOKE DETECTOR LOCATIONS SHALL BE COORDINATED WITH REFLECTED CEILING PLANS IN FIELD SO THAT DETECTORS SHALL BE MINIMUM 3FT AWAY FROM SUPPLY DIFFUSER.
-DUCT SMOKE DETECTORS SHALL BE INSTALLED IN HEATED AREAS AT THE SUPPLY SIDE BEFORE THE FIRST TAKE OFF, MINIMUM 5FT AWAY FROM THE UNIT COIL. REMOTE TEST/INDICATOR LOCATIONS SHALL BE NEXT TO FACP PANEL OR AS DIRECTED BY THE FIRE DEPARTMENT.
-A/V DEVICE LOCATIONS ARE SHOWN BASED ON DISTANCE REQUIREMENTS. CONTRACTOR SHALL COORDINATE PHYSICAL STRUCTURES SO THAT VISIBILITY WILL BE MAINTAINED. PROPOSED CHANGES SHALL BE FORWARDED TO ARCHITECT/ENGINEER FOR APPROVAL.

AUDIBLE DEVICES PROVIDED FOR THE SLEEPING AREAS TO AWAKEN OCCUPANTS SHALL PRODUCE A LOW FREQUENCY ALARM SIGNAL THAT COMPLIES WITH THE FOLLOWING.
(1) THE ALARM SIGNAL SHALL BE A SQUARE WAVE OR PROVIDE EQUIVALENT AWAKENING ABILITY.
(2) THE WAVE SHALL HAVE A FUNDAMENTAL FREQUENCY OF 520 HZ +/- 10 PERCENT.

FIRE ALARM LEGEND

- SYSTEM TYPE SMOKE DETECTOR. ANALOG ADDRESSABLE
- DUCT SMOKE DETECTOR WITH REMOTE TEST SWITCH. TUBE WILL HAVE MINIMUM 10 HOLES
- HEAT DETECTOR. ADDRESSABLE TYPE
- FIRE ALARM PULL STATION CENTERLINE 4'-0" AFF
- FIRE ALARM PULL AND A/V DEVICE (HORN/LIGHT) THE ENTIRE STROBE LENS TO BE LOCATED NOT LESS THAN 80 INCHES ABOVE FINISHED FLOOR AND NOT MORE THAN 96 INCHES ABOVE FINISHED FLOOR AND COMPLY WITH NFPA 72. 15 CD IN CORRIDORS, MIN 75 CD IN COMMON AREAS
- FIRE ALARM A/V DEVICE (HORN/LIGHT) THE ENTIRE STROBE LENS TO BE LOCATED NOT LESS THAN 80 INCHES ABOVE FINISHED FLOOR AND NOT MORE THAN 96 INCHES ABOVE FINISHED FLOOR AND COMPLY WITH NFPA 72. 15 CD IN CORRIDORS, MIN 75 CD IN COMMON AREAS
- FIRE ALARM A/V DEVICE (HORN/LIGHT) IN SLEEPING AREAS THE ENTIRE STROBE LENS TO BE LOCATED NOT LESS THAN 80 INCHES ABOVE FINISHED FLOOR AND NOT MORE THAN 96 INCHES ABOVE FINISHED FLOOR AND COMPLY WITH NFPA 72. AND SHALL BE LOW FREQUENCY
- SYSTEM TYPE SMOKE DETECTOR
- SYSTEM TYPE CO DETECTOR TO REPORT FACP AS TROUBLE SIGNAL. (SUPERVISORY) MFG: SYSTEM SENSOR, CAT# C01224T
- MAGNETIC DOOR HOLDER
- FIRE ALARM CONTROL PANEL
- FIRE ALARM ANNUNCIATOR
- TAMPER SWITCH
- FLOW SWITCH
- MONITOR MODULE

Location

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FIRE ALARM
SYSTEM
NOTES

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